

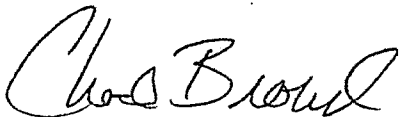
Zoning Map Change: Conditional District REZ-25-05-13-00228, TKC Land Development II, LLC (Applicant);
Property Parcels: 142861 & 142862, Located on Lewis Rd., Gastonia, NC, Rezone from the (R-1) Single
Family Limited Zoning District with (US) Urban Standards Overlay to the (CD/C-1) Light Commercial
Conditional District with (US) Urban Standards Overlay
Page 2

WHEREAS, the Unified Development Ordinance allows the Planning and Zoning Board and the Board
of Commissioners to do one of the following:

- a. Grant the rezoning as requested.
- b. Grant the rezoning with a reduction of the area requested.
- c. Deny the rezoning.

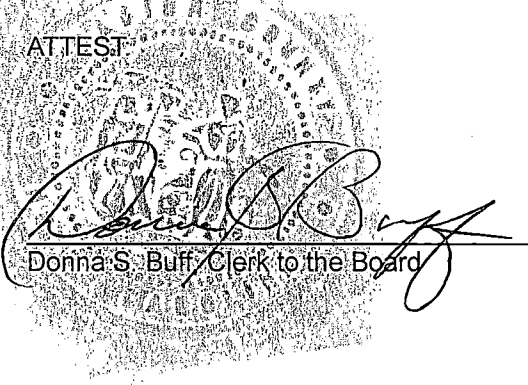
NOW, THEREFORE, BE IT ORDAINED by the Gaston County Board of Commissioners, upon
consideration of the map change application, public hearing comment, and
recommendation from the Planning and Zoning Board and Planning staff, finds:

- 1) The map change request is consistent with the County's approved Comprehensive
Land Use Plan; however, the site itself does not meet the requirements of the
Comprehensive Land Use Plan because it's too constrictive. Property parcels: 142861
& 142862, to be rezoned to the (CD/C-1) Light Commercial Conditional District with
(US) Urban Standards Overlay, is **hereby disapproved**.
- 2) The County Manager is authorized to make necessary notifications in this matter to
appropriate parties.



Chad Brown, Chairman
Gaston County Board of Commissioners

ATTEST



Donna S. Buff, Clerk to the Board

GASTON COUNTY REZONING APPLICATION (REZ-25-05-13-00228)

STAFF REPORT

APPLICATION SUMMARY

Request:

To rezone the property from the (R-1) Single-Family Limited Zoning District with (US) Urban Standards Overlay to the (CD/C-1) Light Commercial Conditional District with (US) Urban Standards Overlay.

Applicant(s):

TKC Land Development II, LLC

Property Owner(s):

Christian Valencia

Parcel Identification (PID):

142861 & 142862

Property Location:

Lewis Road, Gastonia

Total Property Acreage:

1.44 acres

Acreage for Map Change:

1.44 acres

Current Zoning:

(R-1) Single-Family Limited with (US) Urban Standards Overlay

Proposed Zoning:

(CD/C-1) Light Commercial Conditional District with (US) Urban Standards Overlay

Existing Land Use:

Vacant

Proposed Land Use:

Retail

COMPREHENSIVE LAND USE PLAN

Area 5: Scenic Gaston/Southwest Gaston

Key issues for citizens in this area include: preservation of open space, road improvements and better connectivity to other areas of the County, preservation of existing conditions while allowing low to moderate growth, repurpose vacant buildings and facilities for new economic opportunities, and increased commercial opportunities along existing major thoroughfares.

Comprehensive Plan Future Land Use: Rural Community

Rural communities are areas in the largely rural areas where there is a number of residential buildings on smaller lots, built closer to the roadway. Driving through these areas, you feel like you are in a neighborhood. These areas may not serve a purpose other than providing homes, but still maintain a neighborhood look and feel.

Staff Recommendation:

Application, as presented, is consistent with the Comprehensive Land Use Plan, as it will increase commercial opportunities along existing thoroughfares and serve the surrounding residential areas.

UTILITIES AND ROAD NETWORK INFRASTRUCTURE

Water/Sewer Provider:

Private well / private septic

Road Maintenance:

North Carolina Department of Transportation

Technical Review Committee (TRC) comments provided by Gaston Lincoln Cleveland Metropolitan Planning Organization (MPO)

The request went before the Gaston County TRC on Wednesday, September 3rd, and received “no comments” from the following departments:

- Building Inspections
- EMS

Environmental Health stated that the applicants would need to apply for well and septic permits.

Natural Resources stated that sediment and erosion control, as well as post-construction stormwater plans, will need to be submitted for review. This department also noted that the project will be high-density and will require a primary stormwater control measure for stormwater treatment.

According to NCDOT’s State Transportation Improvement Program (STIP), there are no funded transportation improvement projects in the immediate vicinity of the site. However, the Comprehensive Transportation Plan (CTP) identifies recommended bicycle facility improvements along Lewis Road, though these improvements are currently unfunded. The GCLMPO letter is included as an attachment to the staff packet.

STAFF SUMMARY

Prepared By: Peyton Wiggins, Planner II

This property is located at the corner of Lewis Road and Holly Hills Drive in Gastonia, within the southwest region of the county. Together, the subject parcels total 1.44 acres and are currently vacant. The applicants are requesting approval to establish a retail store on the site.

According to the submitted site plan, the proposal includes the construction of a 10,640-square-foot Dollar General retail store. The proposed building meets all required setbacks, and the site complies with the general buffer requirements outlined in Chapter 11 of the UDO. Parking is provided in both the front and side yards. Additional site features include a designated dumpster location, a monument sign, and a loading area for store operations.

If approved, planning staff recommends the following condition of approval be applied, as presented:

- A recombination plat must be processed prior to the issuance of the zoning permit.

General Applicable Ordinance Sections

UDO Section	Proposal
Section 2.7 – Definitions	Retail – a building, property, or activity the principal use or purpose of which the retail sale of goods, products, or merchandise directly to the consumer. Such a retail establishment shall not be classified as a “Retail” use, if listed elsewhere in the Table of Uses in this Ordinance. Examples of excluded uses include: restaurants and convenience stores, etc.
Section 6.2.3 – Commercial Districts	(C-1) Light Commercial – This district accommodates a large variety of retail uses designed to meet the needs of individual neighborhoods or other relatively small geographic areas. Stores and shopping complexes are relatively small in size and designed to be compatible and integrated with adjoining residential neighborhoods. This zoning district was not created to accommodate retail uses that attract persons from outside the neighborhood or attract large numbers of passing motorists.
Section 6.5 – Conditional District (CD)	The Conditional District (CD) zoning process allows for the establishment of specific uses that, because of their nature or scale, have particular impacts on both the immediate area and the community as a whole. Any area rezoned to a (CD) district shall be in general compliance with the goals, objectives, and implementation strategies of the adopted Comprehensive

	Land Use Plan and all other plans and regulations officially adopted by the Board of Commissioners. This review process provides for the accommodation of such uses by a reclassification of property into a (CD) district, subject to specific conditions (which may exceed those that would otherwise be required for the use in question), to ensure compatibility of the use with the enjoyment of neighboring properties and in accordance with the general plans of development of the County.
Section 7.5 – Table of Uses	The proposed use for this site includes “Retail,” which is allowed in the proposed underlying zoning district of (C-1) Light Commercial.

Proposed Features

UDO Section	Required	Proposed
Section 7.5 – Table 7.1-4(A) – Commercial Zoning Districts	The following setbacks are required for the underlying (C-1) zoning district: - Front: 30 ft - Side: 10 ft / 30 ft (if abutting a residential zoning district) - Rear: 20 ft / 30 ft (if abutting a residential zoning district)	The proposal meets or exceeds all required setbacks for the proposed zoning district.
Section 8.2.32 – Retail	This section outlines the supplemental regulations for the Retail use.	No listed supplemental regulations apply to a retail establishment within this zoning district or this size. Therefore, the applicant, by default, meets the supplemental regulations for the proposed use.
Section 11.3.2 – Buffer yard requirements	Screening and buffering shall be required under the following situations: When a lot is: - In a commercial district and abuts a lot in a residential district, screening must be provided on the commercial lot in the form of a Type D Screen/Buffer.	The applicants are complying with all buffer yard requirements by installing a Type D buffer – option 1 - along the side and rear property lines.

Public Information Meetings (PIMs)

The applicant advertised and held two public information meetings as required by Section 5.16 of the UDO. The meetings were held on August 6th from 9 a.m. to 11 a.m. and August 7th from 12:30 p.m. to 1:30 p.m. No members of the public attended either meeting. This case has also been added to the Planning & Zoning Current Cases page on engagegaston.com.

FIRST PLANNING & ZONING BOARD MEETING - OCTOBER 6, 2025

The Planning Board considered this request at its regular meeting on October 6th and voted to continue the case to the November meeting. The Board requested that the applicant provide detailed stormwater, photometric, planting, and utility plans to provide additional information necessary for a recommendation.

P&Z Board Request	Applicant's Action
Stormwater Plan	The applicants are proposing a subsurface stormwater management facility under the drive aisle along the southern portion of the site, adjacent to Holly Hills Drive.
Photometric Plan	The applicants have submitted a comprehensive photometric plan illustrating the proposed site lighting layout. The plan includes a combination of wall-pack fixtures and a single pole-mounted fixture. This information has been included as an attachment to the staff report
Planting & Landscaping Plan	Within the revised site plan, Sheet 2 provides a more detailed exhibit of the proposed landscaping and buffer areas, further illustrating compliance with the Type D, Option 3 buffer requirements.
Utility Plan	The applicants have identified the proposed septic field area on the site plan along the northern property line. As this represents the intended location, staff has included a condition of approval requiring final placement to be coordinated with Environmental Health prior to the issuance of any permits. If approved, this condition would allow flexibility if the septic field area needs to be adjusted based on perc test results.

Requested Area of Relief

UDO Section	Required	Proposed
Section 10.5 – Parking Requirements	1.27 – One space per 250 square feet Spaces Required: 43	Spaces Provided: 32 The applicants are requesting a reduction in the number of required parking spaces for the proposed retail store to accommodate other site features, including the proposed septic field and enhanced buffer area. In lieu of the required 43 spaces, the applicants propose to provide 32 spaces. This request is supported by Dollar General Corporate, and a letter of support has been included as an attachment to the staff report.

Revised Conditions of Approval

1. A recombination plat must be processed prior to the issuance of the zoning permit.
2. *The proposed septic field location may be adjusted during construction document review as needed. Final placement shall be coordinated with and approved by Gaston County Environmental Health and must be finalized prior to the issuance of the zoning permit.*

SECOND PLANNING & ZONING BOARD MEETING – NOVEMBER 17, 2025

The Planning & Zoning Board met again on November 17th, 2025, and recommended approval of the request by a unanimous 9 to 0 vote based on:

- This is a reasonable request and in the public interest; and
- It is consistent with the goals of the comprehensive land use plan as it will allow increased commercial opportunities along existing thoroughfares, as envisioned by the Scenic Gaston small area plan.



GASTON COUNTY PLANNING & ZONING BOARD

Statement of Consistency

In considering the general rezoning case REZ-25-05-13-00228, the Planning & Zoning Board finds:

1. This is a reasonable request and in the public interest; and
2. It is consistent with the goals of the comprehensive land use plan as it will allow increased commercial opportunities along existing thoroughfares, as envisioned by the Scenic Gaston small area plan.

These findings are supported by a 9 - 0 vote by the Gaston County Planning & Zoning Board during its November 17, 2025, meeting.



GASTON COUNTY *Department of Building & Development Services*

Street Address: 128 W. Main Avenue, Gastonia, North Carolina 28052

Phone: (704) 866-3195

Mailing Address: P.O. Box 1578, Gastonia, N.C. 28053-1578

Fax: (704) 866-3966

CONDITIONAL ZONING (CD) APPLICATION

Complete by either typing or printing legibly

Application Number: **REZ**

A.

APPLICANT INFORMATION

Name of Applicant: TKC Land Development II, LLC

(Print Full Name)

Mailing Address: 4500 Cameron Valley Pkwy, Suite 400 Charlotte, NC 28211

(Include City, State and Zip Code)

Telephone Numbers: 704-365-6000

(Area Code) Business

(Area Code) Home

B.

OWNER INFORMATION

Name of Owner: Christian Valencia

(Print Full Name)

Mailing Address: 2749 Smethwick Lane Gastonia, NC 28056

(Include City, State and Zip Code)

Telephone Numbers: 704-524-8337

(Area Code) Business

(Area Code) Home

C.

PROPERTY INFORMATION

Physical Address or General Street Location of Property: 5070 Lewis Rd

Property Identification Number (PID): 142851 and 142862

Acreage of Parcel: 1.45

+/-

Acreage to be Rezoned: 1.45

+/-

Current Zoning: Residential

Proposed Zoning: CD/C-1 Light Commercial Conditional District

Current Use: Vacant

Proposed Use(s): Retail

D.

ADDITIONAL INFORMATION REQUIRED

- ☒ Copy of Site Plan
☒ Copy of Deed
☒ Notarized Authorization
☐ Payment of Fee

- ☐ PIM 1st. Meeting Date: _____
☐ PIM 2nd. Meeting Date: _____
☐ PIM Comments to Planning _____

E.

CONDITIONS SETFORTH BY APPLICANT

F.

APPLICATION CERTIFICATION

(I/We), the undersigned being the property owner/authorized representative, hereby certify that the information submitted on the application and any applicable documents is true and accurate.

TKC Land Development II, LLC, Kenneth R. Beuley, Authorized Member
Signature of property owner or authorized representative

4/28/25
Date

FOR OFFICIAL USE ONLY

FOR OFFICIAL USE ONLY

FOR OFFICIAL USE ONLY

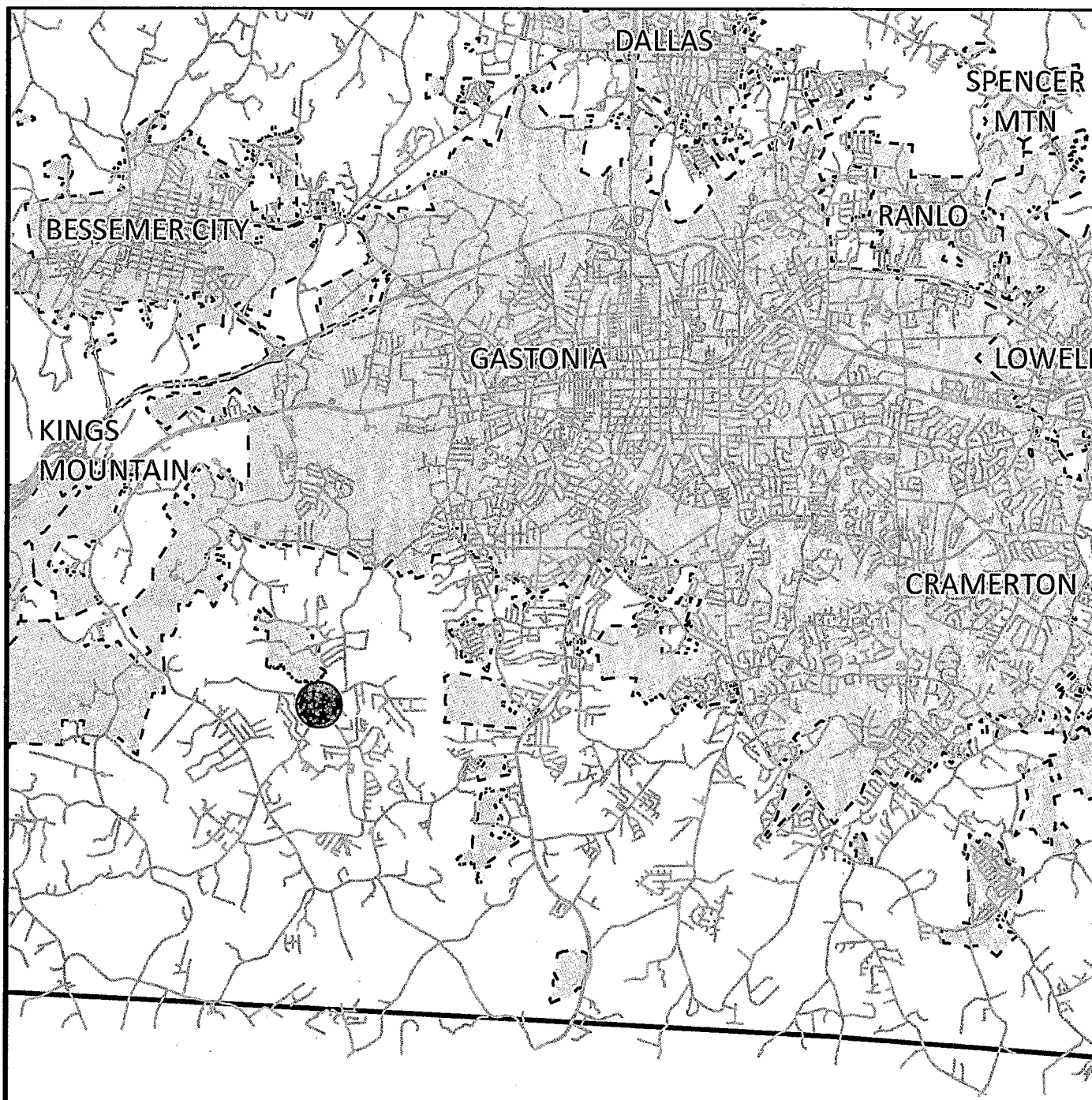
Date Received: _____ Application Number: **REZ**

Fee: _____

Received by (Staff): _____

(Initial)

Meetings - Planning Board: _____ / BOC: _____



GASTON COUNTY
BUILDING AND DEVELOPMENT SERVICES

VICINITY MAP
REZ-25-05-13-00228

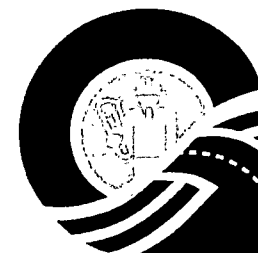
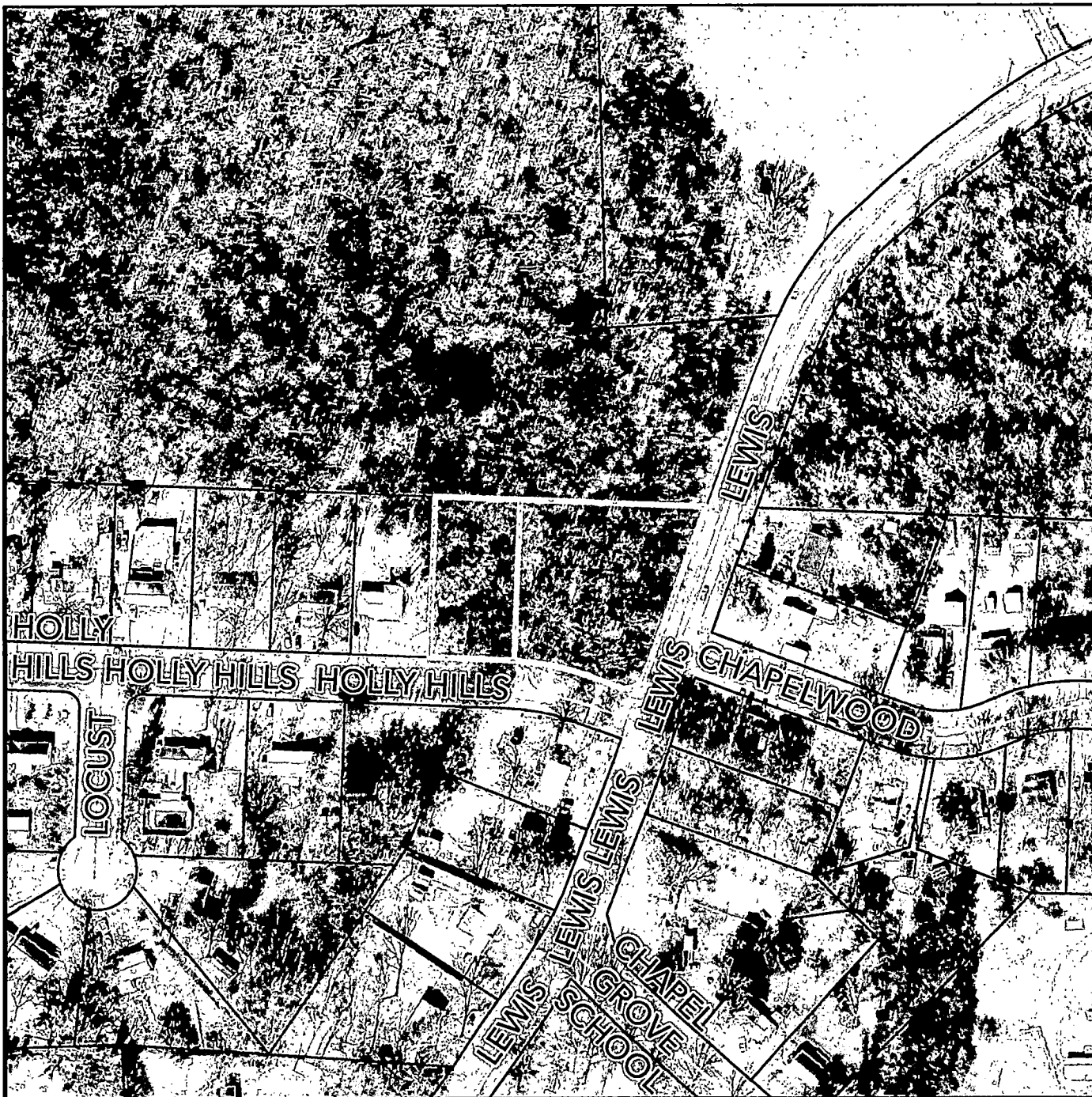
LEGEND

- Roads
- ▤▤▤ Municipalities
- Subject Parcel

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0 0.5 1 2 Miles





GASTON COUNTY
BUILDING AND DEVELOPMENT SERVICES

ORTHOPHOTO MAP
REZ-25-05-13-00228

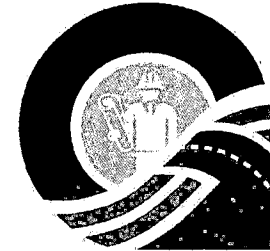
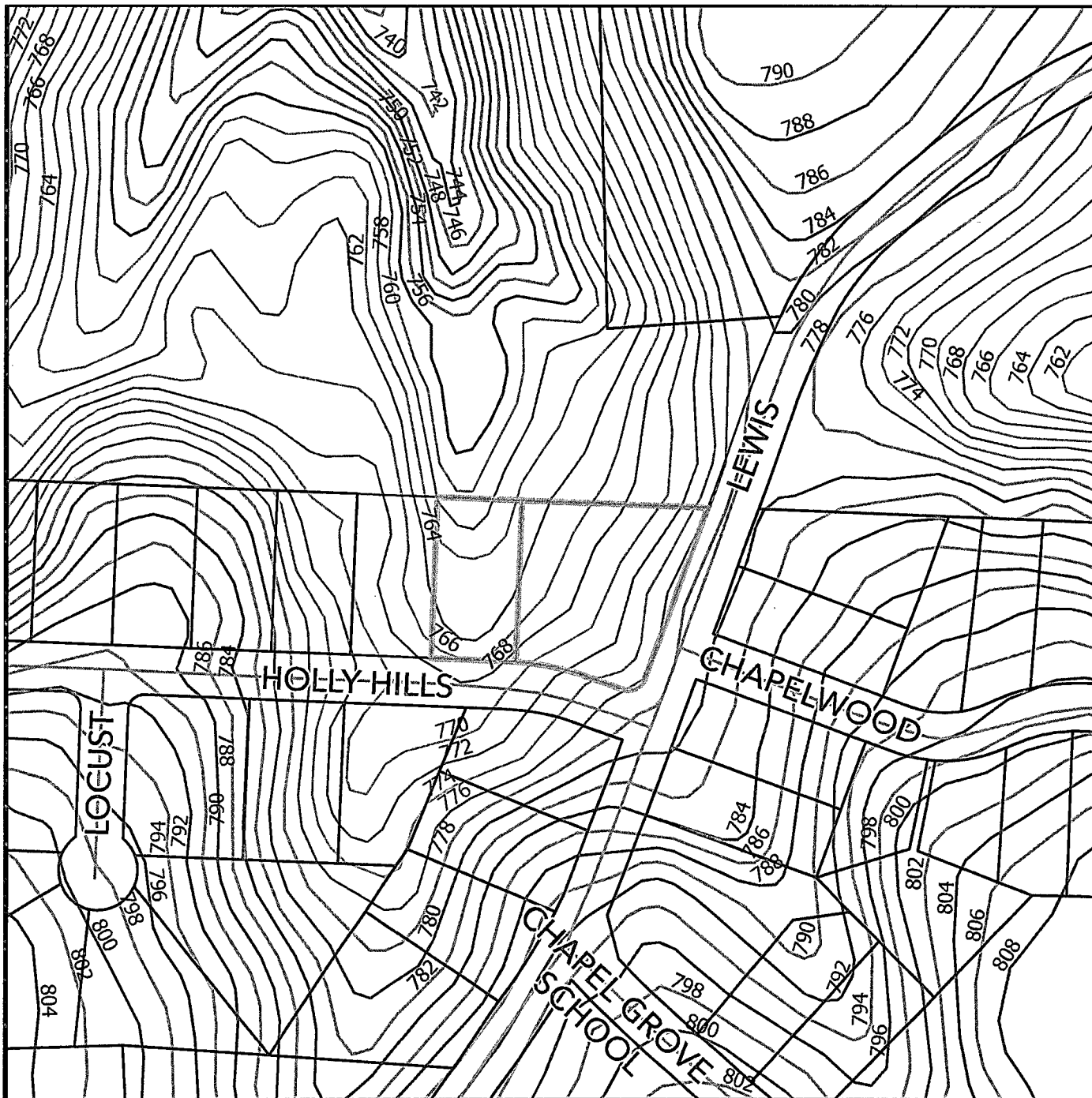
LEGEND

-  Parcels
-  Roads
-  Subject Properties

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0 0.010.02 0.04 Miles



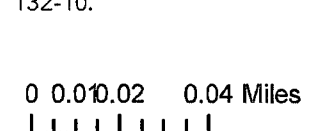
GASTON COUNTY
BUILDING AND DEVELOPMENT SERVICES

ENVIRONMENTAL MAP
REZ-25-05-13-00228

LEGEND

- Parcels
- Roads
- Subject Properties
- 100ft Contours
- 2ft Contours
- 4ft Contours
- 20ft Contours
- Flood

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ZONING MAP

REZ-25-05-13-00228

LEGEND

— Roads

□ Parcels

ZONE TYPE

■ C-1

▨ R-1

TYPE

XX US OVERLAY

□ Subject Properties

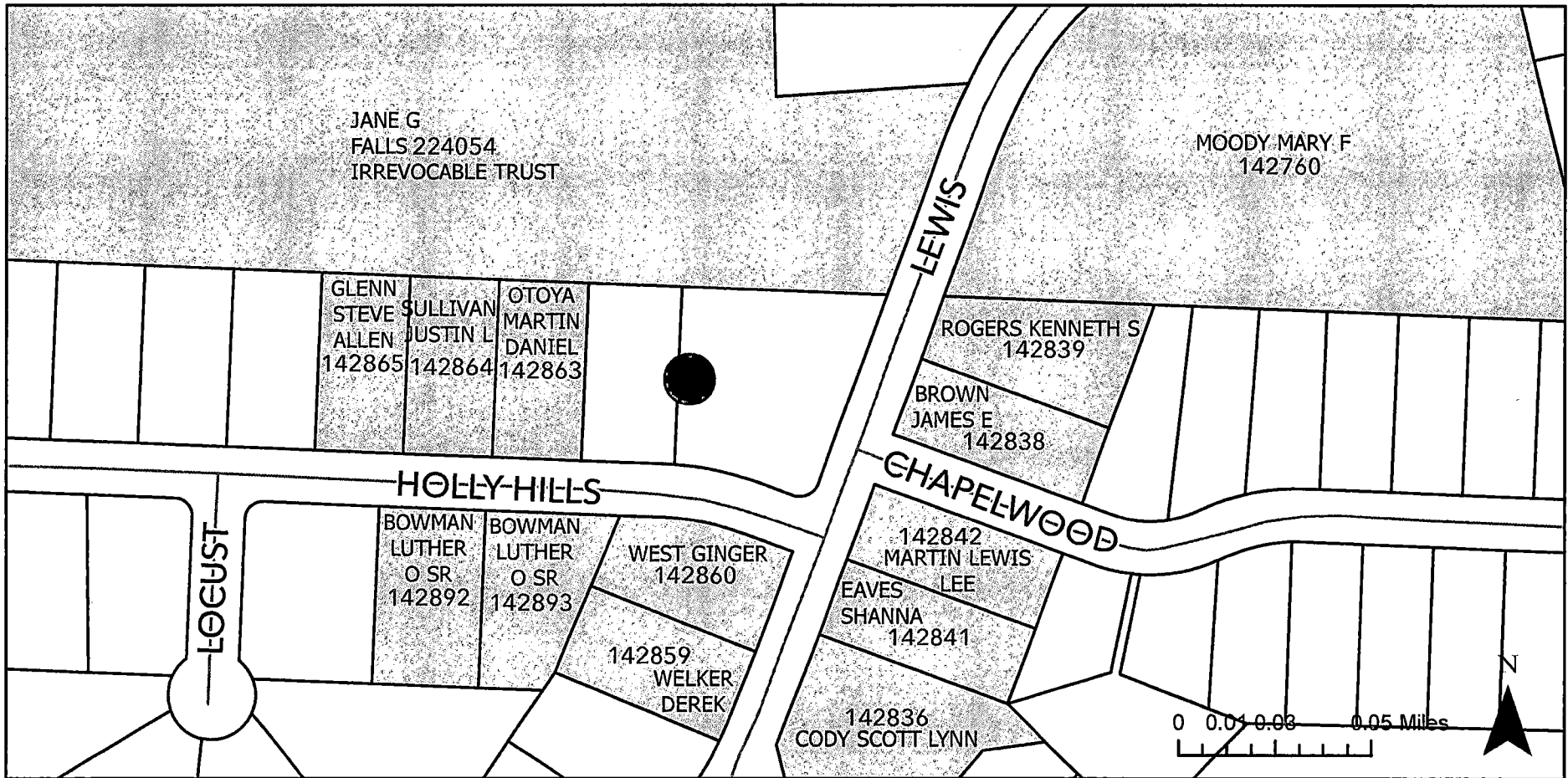
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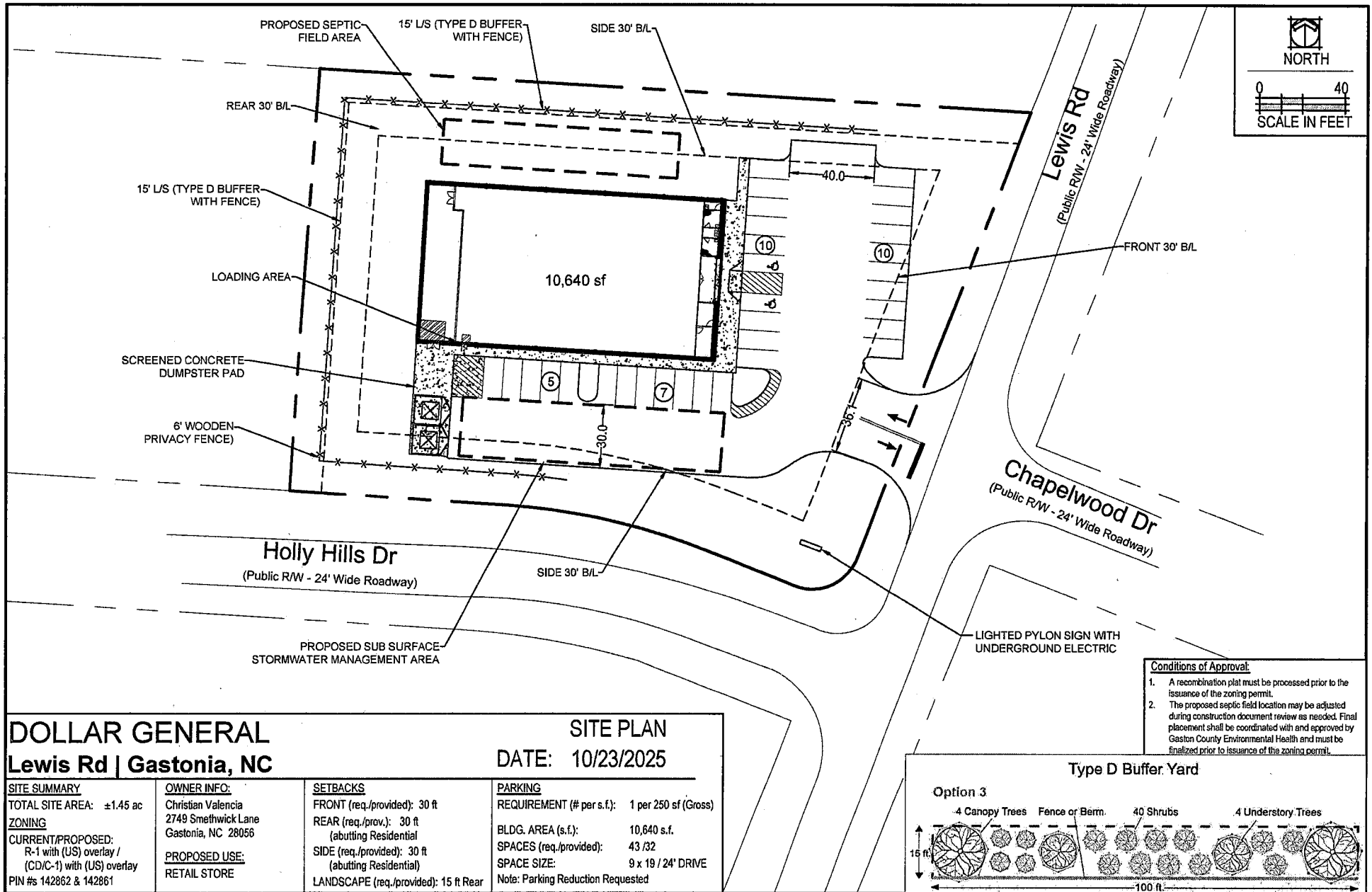
SUBJECT & ADJACENT PROPERTIES MAP | REZ-25-05-13-00228

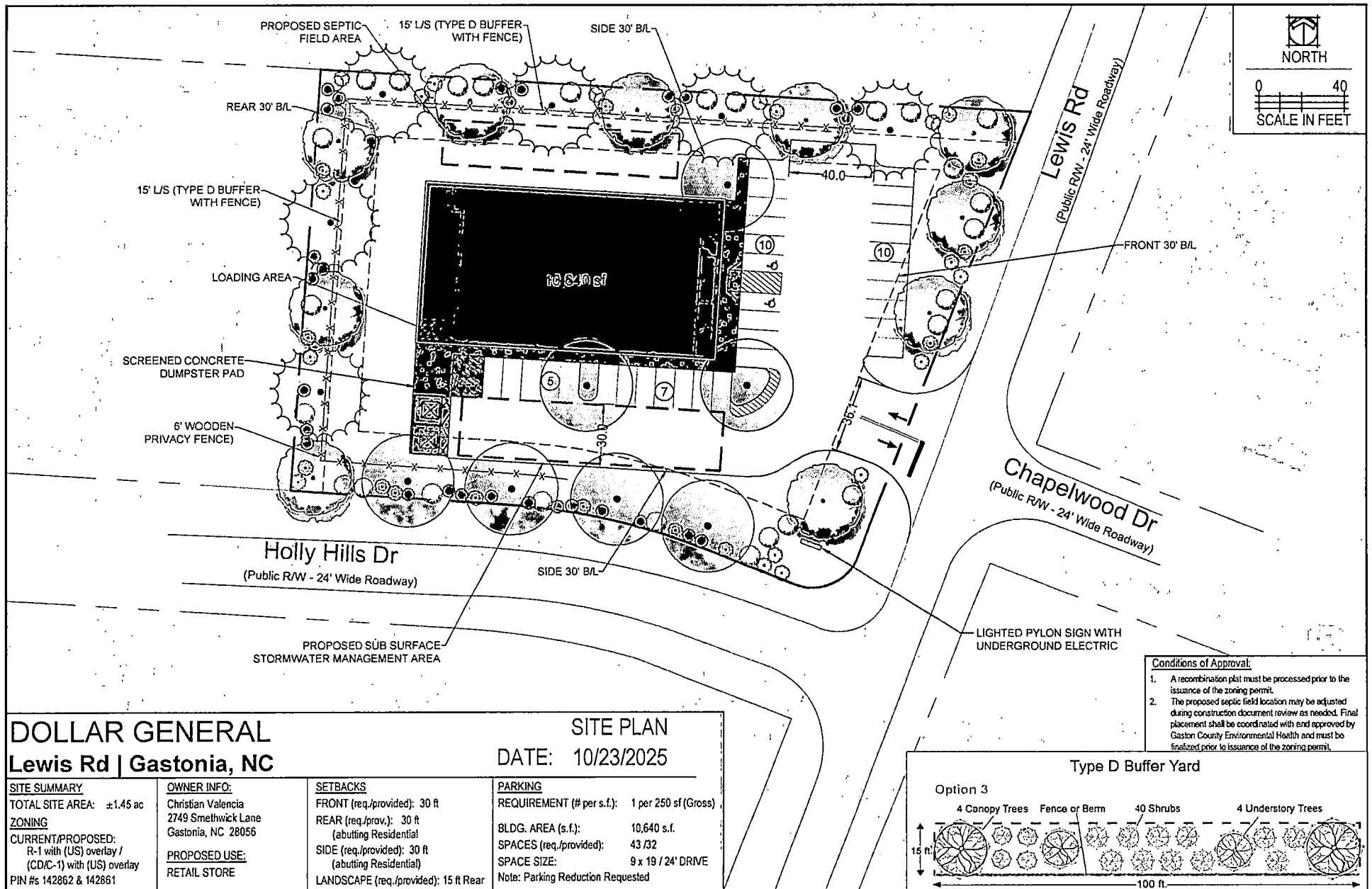
LEGEND



Subject Properties

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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
⌚	1	HP-SH2	Twin	16182	0.950	147.489	NLES AL1212 Back Shield, 2-H
⌚	8	G	Single	5692.9	0.950	42.2406	NLES WP4054

Numeric Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.57	12.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.87	10.2	0.1	18.70	102.00

Luminaire Location Summary		
LumNo	Label	Z
1	G	15.5
2	G	15.5
3	G	15.5
4	G	15.5
5	G	15.5
6	G	15.5
7	G	15.5
8	G	11
9	HP-SH2	27

Notes:

Plan Notes:

Calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary for mounting heights of each fixture. Pole mounted fixtures include a 2ft concrete base. Mounting heights indicated on luminaire location summary is a total A.F.G. height.

General Notes:

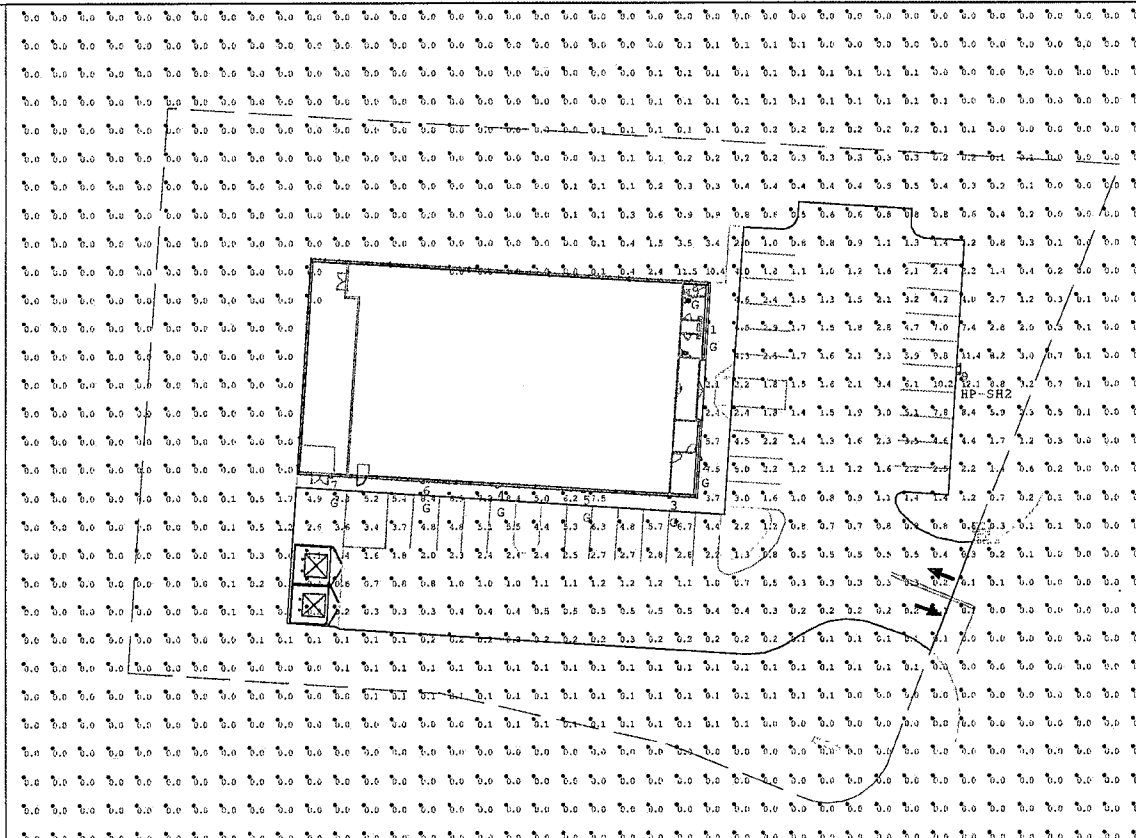
Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics & luminaire specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry & objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on .IES files that were lab tested or computer generated, actual results may vary.

Project name: Dollar General
Gastonia NC 31567 Lighting Layout
Prepared for: Advanced Engineering
Prepared by: Brent M. Finley, LC

NLES - INC.

2586 W AMERICAN DRIVE, #1
NEENAH, WI 54956
PH 920-840-6054 / FAX 920-840-6424
www.nlesinc.com





Luminaire Location Summary		
LumNo	Label	Z
1	G	15.5
2	G	15.5
3	G	15.5
4	G	15.5
5	G	15.5
6	G	15.5
7	G	15.5
8	G	11
9	HP-SH2	27

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
E	1	HP-SH2	Twin	NLES AL1212 Back Shield, 2-H	0.950	16181	147.489	294.978
[]	8	G	Single	NLES WP4054	0.950	5696	42.2406	337.925

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.57	12.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.87	10.2	0.1	18.70	102.00

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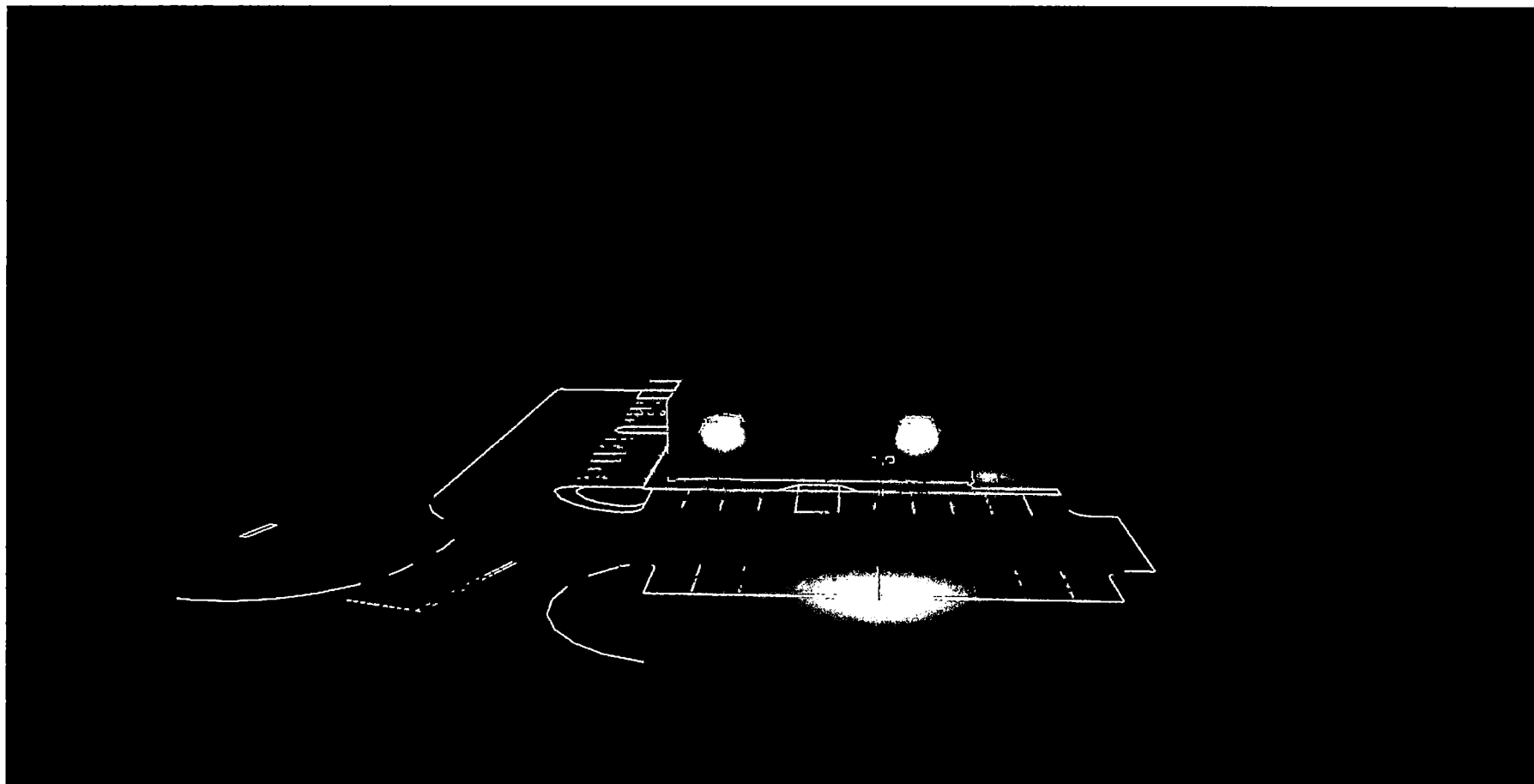
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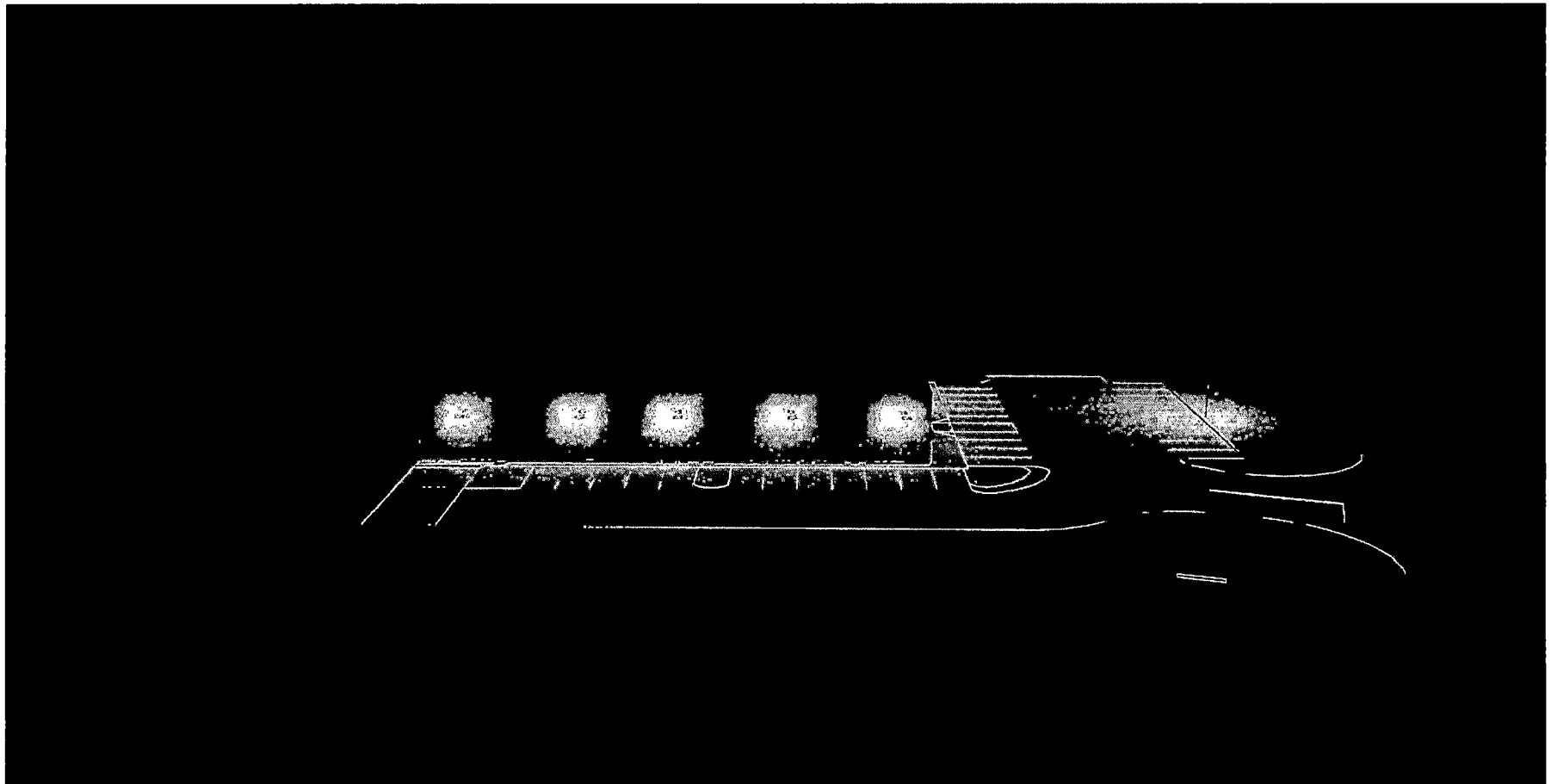


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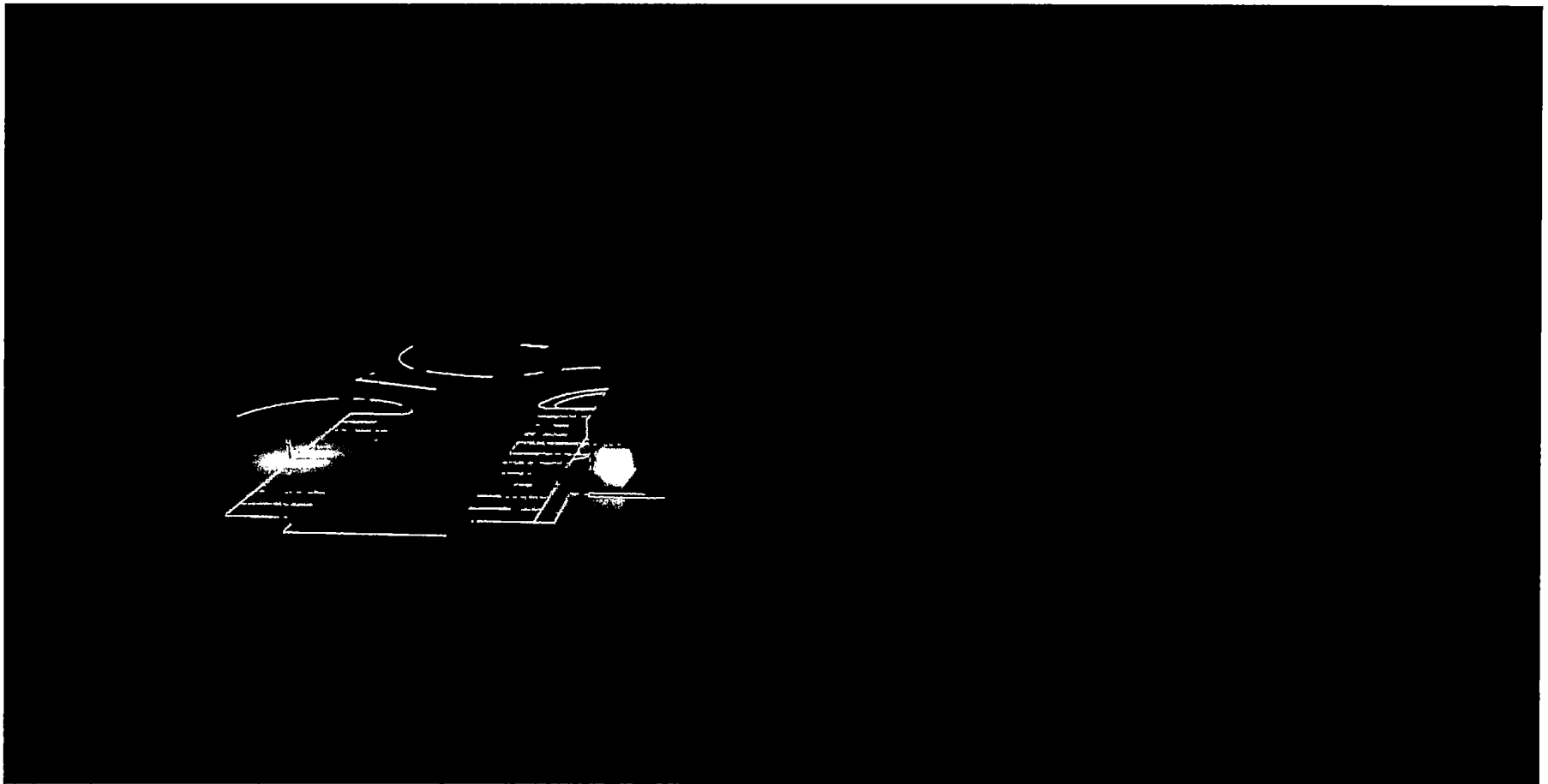


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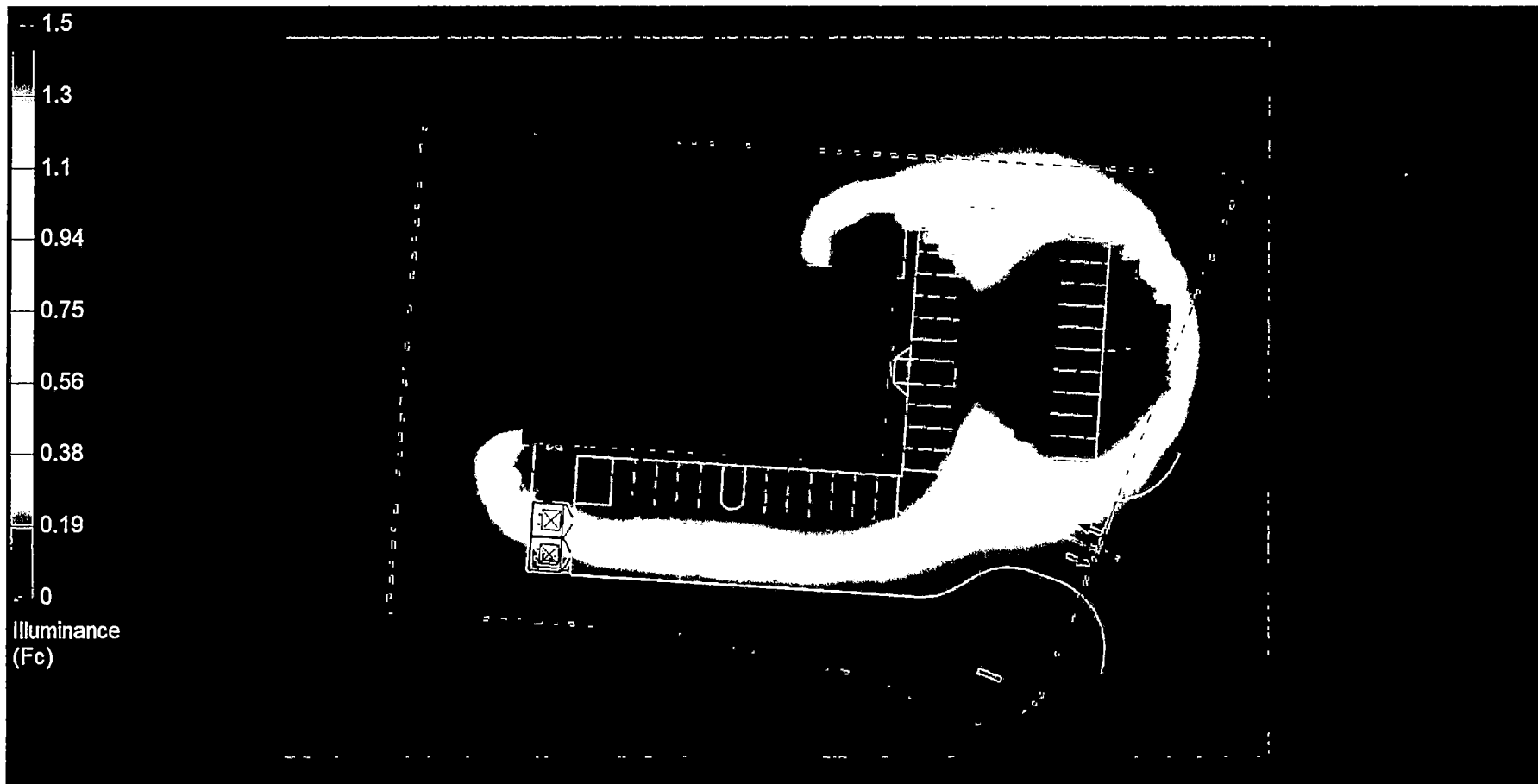


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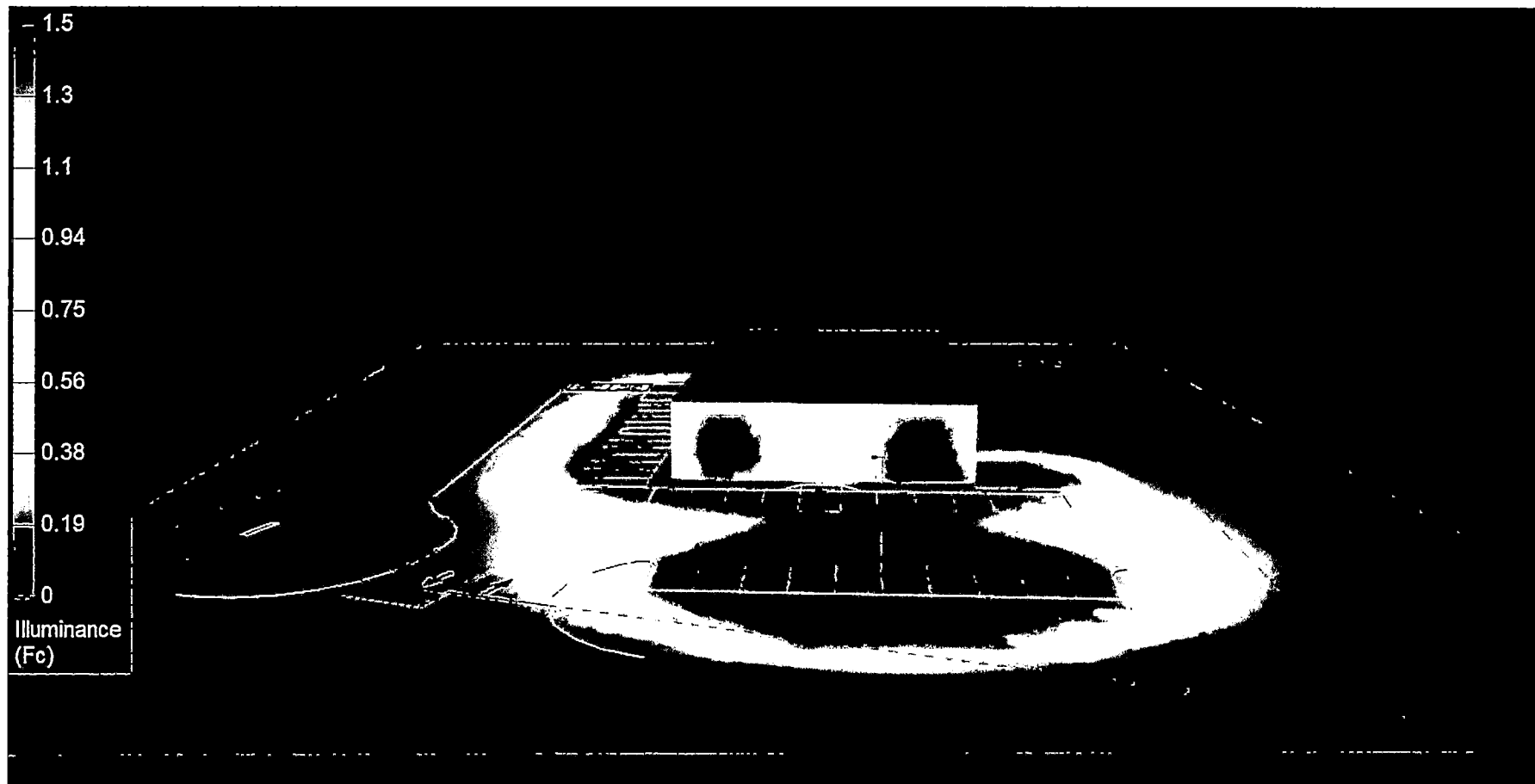


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November 6, 2025

Gaston County, NC Building Department
128 West Main Avenue
Gastonia, NC 28052

RE: Dollar General Store 31567
5070 Lewis Road
Gastonia, NC 28052

To whom it may concern,

Through the years, Dollar General has been in the process of refining the design criteria for new store development. With over 20,000 stores in productive operation, we have gathered a significant amount of data.

One area in which we are balanced between development cost and customer needs is in the area of parking requirements and accessibility for our build-to-suit locations. During the highest peak hours of sales, the DG 10,640 prototype utilizes 30 parking spaces. We have confirmed that the proposed 32 spaces at this location will accommodate and exceed the customer flow rate that our business generates.

Thank you for this inquiry and the opportunity to bring Dollar General to this local community. Please feel free to contact me with any other questions you may have.

Best regards,

Jeff Steele, AIA LEED AP
Director of Architecture + Engineering
Dollar General CORP.
100 Mission Ridge
Goodlettsville, TN

FINISHES	FIN. BUILDINGS	STAR BUILDING SYSTEMS	NUCOR BUILDING SYSTEMS	SEE ONE STEEL BUILDINGS	CHRY BUILDINGS	PREPARED COLORS OF ALTERNATE EXTERIOR MATERIALS ARE LISTED INSTEAD OF WALL PANELS
ATN: RANBY SPEARS 205-903-8176	ATN: JCF/HORN 888-664-8829	ATN: BOB BARRY 315-822-4440	ATN: KIM BUEHLER 800-633-3378	ATN: ERN SULEMAN 800-843-1767		
DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.	DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.	DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.	DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.	DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.	DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.	DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.
OUTLETS	OUTLETS	OUTLETS	OUTLETS	OUTLETS	OUTLETS	OUTLETS
DOWN SPOUTS	DOWN SPOUTS	DOWN SPOUTS	DOWN SPOUTS	DOWN SPOUTS	DOWN SPOUTS	DOWN SPOUTS
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1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.	1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.	1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.	1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.	1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.	1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.	1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.
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FINISHES

DOOR FINISHES ARE TO MATCH OR BE EQUAL TO VP ACTUAL BUILDING SYSTEMS. FINISH SELECTION UNLESS OTHERWISE NOTED. APPROVED DOES NOT ALLOW.

OUTLETS

DOWN SPOUTS

TRIM - SEE FINISH SCHEDULE FOR COLOR

PARAPET OVER ENTRANCE, REVERSE RIB PROFILE

PRE-FINISHED METAL WALL PANELS FOR FASCIA AND PARAPET OVER ENTRANCE, REVERSE RIB PROFILE

PRE-FINISHED METAL WALL PANELS FOR SIDE AND REAR. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0".

VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.

DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.

NOT USED.

HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.

OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.

MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.

PARAPET BEYOND,

IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.

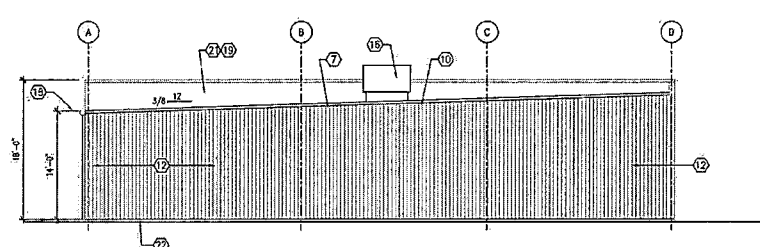
EXTEND PARAPET WALL UP AS NEEDED TO SCREEN ROOF MOUNTED EQUIPMENT IF REQUIRED BY LOCAL ORDINANCE.

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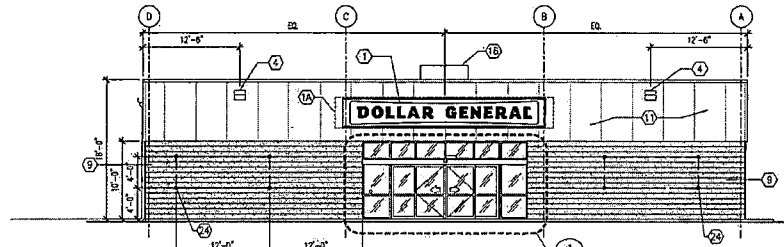
NOT USED.

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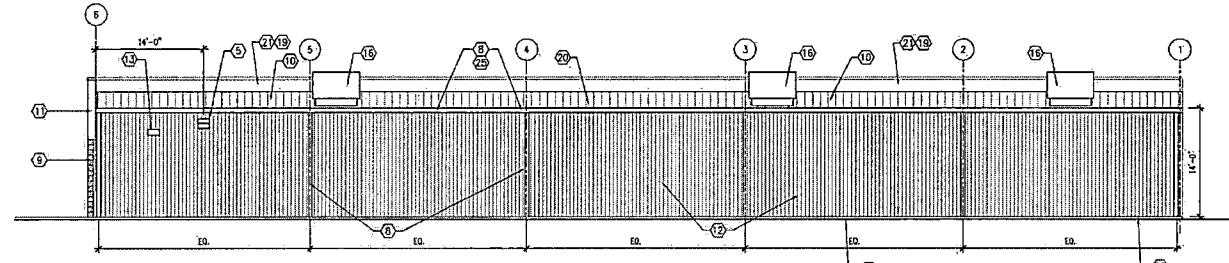
CUTTER LEAF GUARDS IF WITHIN 25'-0" OF A TREE.



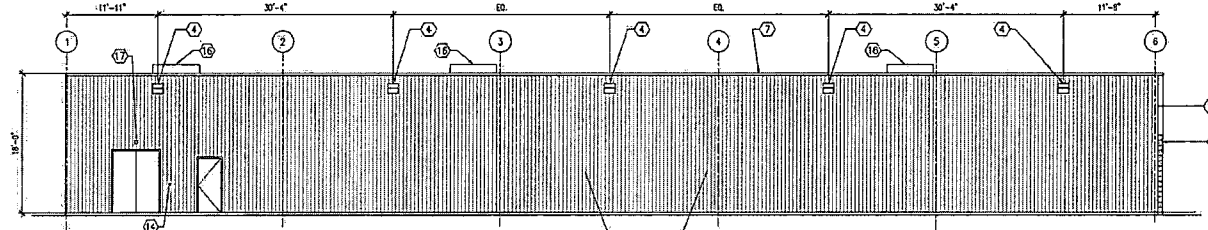
2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION - DGP
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION (NO ACCESS)
SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION (TRUCK SIDE)
SCALE: 1/8" = 1'-0"

- ELEVATION KEYED NOTES
1. SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
 2. NOT USED.
 3. NOT USED.
 4. WALL PACK, REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO. 18'-0" HEIGHT O.C. TO J-BOX.
 5. WALL PACK, REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO. 12'-0" HEIGHT O.C. TO J-BOX.
 6. NOT USED.
 7. TRIM - SEE FINISH SCHEDULE FOR COLOR.
 8. GUTTER AND DOWNSPOUT - SEE FINISH SCHEDULE FOR COLOR.
 9. 8" SMOOTH FACE CONCRETE MASONRY UNIT.
 10. STANDING SEAM METAL ROOF.
 11. PRE-FINISHED METAL WALL PANELS FOR FASCIA AND PARAPET OVER ENTRANCE, REVERSE RIB PROFILE.
 12. PRE-FINISHED METAL WALL PANELS FOR SIDE AND REAR. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0".
 13. VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
 14. DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
 15. NOT USED.
 16. HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
 17. OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.
 18. MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
 19. PARAPET BEYOND,
 20. IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
 21. EXTEND PARAPET WALL UP AS NEEDED TO SCREEN ROOF MOUNTED EQUIPMENT IF REQUIRED BY LOCAL ORDINANCE.
 22. FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
 23. NOT USED.
 24. 1/2" DIAMETER x 6" LONG STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.
 25. CUTTER LEAF GUARDS IF WITHIN 25'-0" OF A TREE.

REVISIONS:

THESE DOCUMENTS ARE PROVIDED AS A DESIGN CRITERIA TEMPLATE FOR THIS BUILDING TYPE. THESE DRAWINGS MUST BE REVIEWED AND ADAPTED BY A LICENSED ARCHITECT AND ENGINEER TO COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL BUILDING CODES. ALL PROJECTS MUST BE APPROVED BY DOLLAR GENERAL PRIOR TO START OF CONSTRUCTION.

Store # 31567
Lewis Road
Gaston, NC 28052

DOLLAR GENERAL
PROTOTYPE CRITERIA SET PLAN
DGP24 AND DGM24 "A"
ARCHITECTURAL AND ENGINEERING DEPARTMENT
BESMAN@DOLLARGENERAL.COM

DATE: DECEMBER 4, 2023
DRAWING TYPE: EXTERIOR ELEVATIONS - DGP
SCALE: 1/8" = 1'-0"
SHEET NO.

A2



Post Office Box 1748
Gastonia, North Carolina 28053
Phone (704) 866-6980

150 South York Street
Gastonia, North Carolina 28052
Fax (704) 869-1960

Memorandum

To: Peyton Wiggins CZO, Planner II, Building and Development Services
From: Julio Paredes, Planner, AICP, Senior Planner. Gaston—Cleveland—Lincoln MPO
Date: September 10th, 2025
Subject: TRC Review for REZ-228 – Lewis Rd

Thank you for the opportunity to provide transportation comments on a conditional rezoning application within the Gaston-Cleveland-Lincoln Metropolitan Planning Organization (GCLMPO) planning area. My comments are based on review of the location in accordance with the adopted Comprehensive Transportation Plan (CTP), the adopted 2050 Metropolitan Transportation Plan (MTP), and the current State Transportation Improvement Program (STIP).

The proposed site plan is located at 5070 Lewis Rd, Gastonia, NC, 28052. PIDs: 142861 and 142862. On behalf of the GCLMPO, I offer the following comments:

1. According to NCDOT's 2026-2035 State Transportation Improvement Program (STIP), there are no funded transportation improvement projects in the immediate vicinity of this site.
2. The CTP shows recommended bicycle facilities improvements along Lewis Rd. These improvements are unfunded at this time.
3. The CTP does not include specific transportation projects or improvement schedules, but instead represents the status or completeness of the comprehensive transportation system that may be required to support anticipated growth and development.

By establishing the region's future transportation needs, the CTP offers an organized way to identify, and eventually prioritize, the transportation projects that may be built in the communities within the GCLMPO area.

CTP projects shown as "Needs Improvement" or "Recommended" could become a funded project in the future, part of a development project, or may never become a funded project.

If you have any questions regarding my comments, please do not hesitate to contact me at 704-866-6980 or julio.paredes@gastonianc.gov.



Gaston County

Gaston County
Board of Commissioners
www.gastongov.com

Building and Development Services Board Action

File #: 25-487

Commissioner Keigher - Building & Development Services - Zoning Map Change: Conditional District REZ-25-05-13-00228, TKC Land Development II, LLC (Applicant); Property Parcels: 142861 & 142862, Located on Lewis Rd., Gastonia, NC, Rezone from the (R-1) Single Family Limited Zoning District with (US) Urban Standards Overlay to the (CD/C-1) Light Commercial Conditional District with (US) Urban Standards Overlay

STAFF CONTACT

Peyton Wiggins - Planner II - 704-866-3530

BACKGROUND

Chapter 5 of the Unified Development Ordinance requires a public hearing by the Commission, with recommendation by the Planning & Zoning Board prior to consideration for final action by the Commission. TKC Land Development II, LLC (Applicant); Property Parcels: 142861 & 142862, Located on Lewis Rd., Gastonia, NC, Rezone from the (R-1) Single Family Limited Zoning District with (US) Urban Standards Overlay to the (CD/C-1) Light Commercial Conditional District with (US) Urban Standards Overlay. A public hearing was advertised and held on December 9, 2025, with public hearing comments being on file in the Board of Commission Clerk's Office. Planning & Zoning Board recommendation was provided on November 17, 2025, and the Commission is requested to consider the public hearing comment, Planning & Zoning Board recommendation and other pertinent information, then (approve), (disapprove) or (modify) the map change.

ATTACHMENTS

Ordinance, Staff Report, Application Packet, Maps, Site Plan, and GCLMPO Comments

DO NOT TYPE BELOW THIS LINE

I, Donna S. Buff, Clerk to the County Commission, do hereby certify that the above is a true and correct copy of action taken by the Board of Commissioners as follows:

NO.	DATE	M1	M2	JBailey	CBrown	CCloninger	AFraley	BHovis	TKeigher	SShehan	Vote
2025-384	12/09/2025	BH	SS	A	A	A	A	A	AB	A	U

(DISAPPROVED)

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A=AYE, N=NAY, AB=ABSENT, ABS=ABSTAIN, U=UNANIMOUS